

WORKS PROGRESS REPORT for KCTMO GRENFELL TOWER - No 20

Project Name / Address	KCTMO Improvements and Enhancements to Grenfell Tower		Ref. 7654
Client	KCTMO	Project Manager	Claire Williams
Week Commencing	17/08/15	Main Contractors	RYDON
Contract Commencement Date	02/06/2014	Contract Completion Date	23-10-15

OVERVIEW

M&E related workers (boilers installation, pipework, hole drilling)	6	There are 5no mechanical and 1no electrical
Total	6	

KPI	Scale 1 to 10	Comments
Workmanship	4	See comments in photo section of this report.
Quality	4	See comments in photo section of this report.

Flats currently opened	1	1 st & 2 nd fix radiator works in flat 136
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Flats handed over	0	
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CoW Name TONY BATTY

PROGRESS REPORT

ISSUES

SDP are still awaiting a formal response from their last report

Dosing of heating mains being carried out again, due to leak and losing all water treatment

There are currently:

82 HIU'S fitted, with 80 2nd fix and 105 ventilation cleaning complete, with 33no kitchen surveys booked in.

This leaves only 5 no flats to gain access to out of the 120, with the current labour strengths on site the above flats for 1ST Fix, 2ND Fix, and Final fix, cannot be achieved, in order to meet the contract handover date of the 23-10-15

There are currently a lot of departures from the Max Fordham specification which to date have not been addressed or commented on by Rydon's or JS Wright's, these are as follows:

1. No intumescent sleeves fitted to plastic pipes greater than 40mm that pass through floors
2. Condensate drain from the boiler should be run in copper and have trapped tundishes fitted
3. All main soil and vent pipes should have been insulated with a vapour barrier to protect against condensation and provide acoustic separation.
4. Provide isolating valves on all hot and cold services such as that no more than 3 appliances are isolated by any one valve
5. All pipe work run exposed in unprotected areas shall be protected with aluminium sheeting pipework protection
6. New gas pipe to boilers is not sub-metered
7. Kitchen extract fan do not appear to be high rise type and confirmation is required as to whether the fan duty can be achieved against the high winds
8. Cleaning of the main ductwork system (bathroom ventilation)
9. New grilles to all lift lobbies have not been fitted on the AOV system
10. No vent grilles have been installed in any of the service risers

IMPLICATIONS FROM COMPLETION PROGRAMME ISSUED 12-06-15:

- Comments on previously issued reports still stand
- Item 10 **should now be completed** and is 6 weeks behind new programme
- Item 13 **should now be completed** and is 2 weeks behind new programme

- Item 19 **should now be completed** and is 6 weeks behind new programme
- Item 22 **should now be completed** and is 2 week behind new programme
- Item 29 **should now be completed** and is 6 weeks behind new programme
- Item 32 **should now be completed** and is 2 weeks behind new programme
- Item 39 **should now be completed** and is 2 weeks behind new programme
- Item 40 **should now be completed** and is 2 weeks behind new programme
- Item 68 **should now be completed** and is 6 weeks behind new programme
- Item 77 **should now be completed** and is 2 weeks behind new programme
- Item 85 **should now be completed** and is 5 weeks behind new programme
- Item 92 **should now be completed** and is 5 weeks behind new programme
- Item 115 **should now be completed** and is 9 weeks behind new programme
- Item 116 **should now be completed** and is 9 weeks behind new programme
- Item 123 **should now be completed** and is 3 weeks behind new programme
- Item 129 **should now be completed** and is 9 weeks behind new programme
- Item 130 **should now be completed** and is 9 weeks behind new programme
- Item 137 **should now be completed** and is 3 weeks behind new programme
- Item 143 **should now be completed** and is 9 weeks behind new programme
- Item 144 **should now be completed** and is 9 weeks behind new programme
- Item 151 **should now be completed** and is 3 weeks behind new programme
- Item 157 **should now be completed** and is 9 weeks behind new programme
- Item 163 **should now be completed** and is 3 weeks behind new programme
- Item 189 **should now be completed** and is 6 weeks behind new programme
- Item 190 **should now be completed** and is 5 weeks behind new programme
- Item 205 **should now be completed** and is 2 weeks behind new programme
- Item 206 **should now be completed** and is 2 weeks behind new programme
- Item 220 **should now be completed** and is 6 weeks behind new programme
- Item 234 **should now be completed** and is running 8 weeks behind new programme

- Item 235 **completed**
- Item 236 **should now be completed** and is running 9 weeks behind new programme
- Item 237 **should now be completed** and is running 5 weeks behind new programme
- Item 239 **should now be completed** and is running 5 weeks behind new programme
- Item 240 **should now be started** and is 2 weeks behind new programme
- Item 242 **should now be completed** and is running 6 weeks behind new programme
- Item 250 **should now be started** and is running 6 weeks behind new programme
- Item 252 **should now be completed** and is running 7 weeks behind new programme
- Item 253 **should now be completed** and is running 5 weeks behind new programme
- Item 254 **should now be completed** and is running 5 weeks behind new programme
- Item 257 **should now be started** and is 6 weeks behind new programme

NOTE

As there are only 10 weeks left to the overall contract period it is looking very unlikely at the present rate of installation of achieving the Practical Completion date of the 23-10-15

RISK ITEMS (EG HEALTH & SAFETY, ETC)

None

QUERIES / INFORMATION REQUIRED:

Query / Information:

Date Required

Main Programme of works (revised) and now changed to a recovery programme issued 12-06-15

Handed hard copy

SIGNATURE OF INSPECTOR:

Tony Batty

Distribution

Contract Administrator



Client

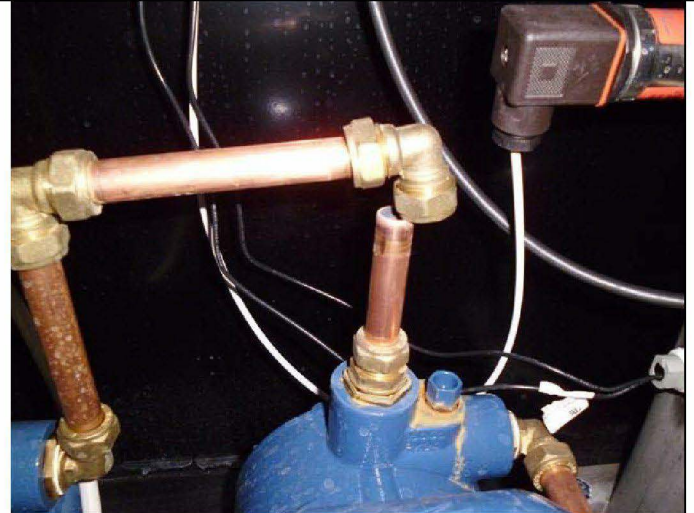


Site Photographs 6no



Plastic sleeving used in fire rated service riser is over 40mm diameter and requires an intumescent sleeve as per Building Regulations Part B and BS 476

Security screws are missing from a lot of the AOV grilles, this was reported last week



The new hot water pipe from the HIU in the hallway runs under the bath into the existing cylinder cupboard and then is connected onto the existing hot water pipe, as you can see from the photo, this runs up and then back down causing an air pocket, this pipe could be run horizontal

Pipe from the Pressurisation unit in the basement has compression connection blown off, as you can see from the photo, the joint has NOT been tightened up enough, as the copper pipe show no signs of compression from the olive



FRIDAY	NOTES	MONDAY
AUGUST	<p>H14 INSTALLED 82</p> <p>WINDOWS INSTALLED 58</p> <p>RADS INSTALLED 80</p> <p>AIR VENTS CLEANED 105.</p> <p>INCLINER NEATER 5th May High Winds</p>	<p>24 Am Sd Complete</p> <p>31 BH</p>

Broken joint causing the leak/flood in flat 136 appears to have been snapped under undue force, and the heating system should not of been worked on when the system was live

No change to last weeks progress on the white board